

Real Estate Market Overview 2004

Wichita Falls

The Wichita Falls Metropolitan Statistical Area (MSA) in North Texas is composed of Archer and Wichita counties. A population of more than 375,000 lives within the 60-mile radius trading area. Wichita Falls covers 62.5 square miles, is 15 miles from the Red River and Oklahoma border and is equidistant from Dallas-Fort Worth and Oklahoma City. The City of Wichita Falls received its name from a Wichita Indian encampment near a small Wichita River waterfall that was washed away in an 1886 flood; in 1986, a 54-foot replacement waterfall was built. Wichita Falls is also the birthplace of Larry McMurtry, author of *Lonesome Dove* and *Terms of Endearment*.

Quick Facts	
Land Area	1,537.36 square miles
Population Density (2000)	91 people per square mile
Counties	Archer, Wichita
Area Cities and Towns	Archer City, Burkburnett, Dundee, Electra, Holiday, Iowa Park, Kamary, Mankins, Megrigel, Scotland, Wichita Falls

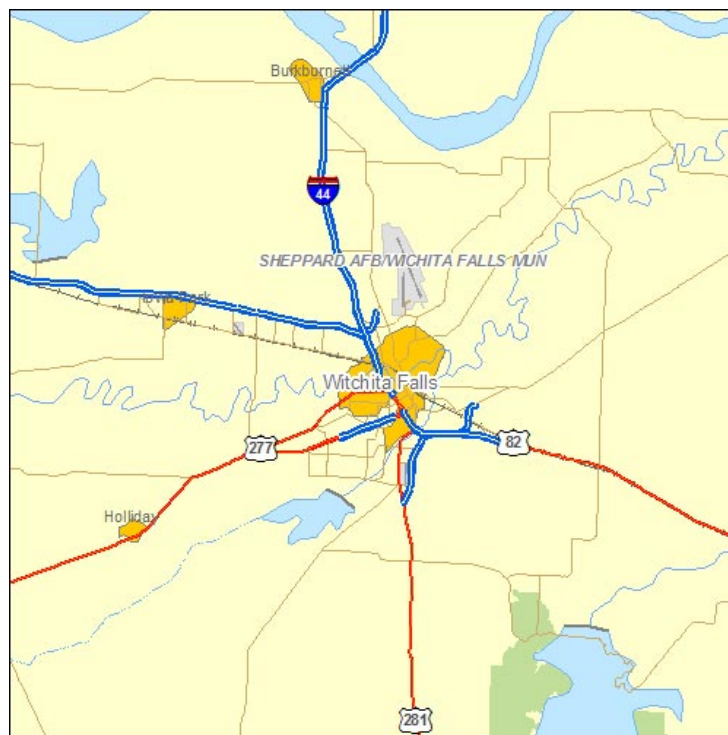


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Wichita Falls Market Overview 2004

Demographics

Wichita Falls MSA Population

Year	Population	Percent Change
1990	130,179	-0.4
1991	129,278	-0.8
1992	129,102	0.0
1993	131,529	1.9
1994	133,919	1.8
1995	137,526	2.7
1996	140,663	2.3
1997	140,892	0.2
1998	140,535	-0.3
1999	140,701	0.1
2000	140,518	-0.1
2001	139,384	-0.8
2002	138,960	-0.3

Source: U.S. Census Bureau

Texas Metropolitan Area Population Change, 1990 - 2002

Metropolitan Area	1990 Population	2002 Population	Percent Change
McAllen-Edinburg-Mission	383,545	614,474	60.2
Austin-San Marcos	846,227	1,349,291	59.4
Laredo	133,239	207,611	55.8
Dallas	2,676,248	3,743,254	39.9
Brownsville-Harlingen-San Benito	260,120	353,561	35.9
Brazoria County	191,707	257,256	34.2
Houston	3,321,911	4,420,081	33.1
Fort Worth-Arlington	1,361,034	1,802,465	32.4
Texas	16,986,335	21,779,893	28.2
Bryan-College Station	121,862	156,099	28.1
San Antonio	1,324,749	1,660,205	25.3
Killeen-Temple	255,299	319,163	25.0
Galveston-Texas City	217,396	261,219	20.2
Tyler	151,309	181,437	19.9
Sherman-Denison	95,019	113,860	19.8
Amarillo	187,514	222,915	18.9
El Paso	591,610	697,562	17.9
Waco	189,123	217,713	15.1
Victoria	74,361	84,932	14.2
Lubbock	222,636	247,574	11.2
Longview-Marshall	193,801	212,288	9.5
Corpus Christi	349,894	382,188	9.2
Texarkana	120,132	131,027	9.1
Wichita Falls	130,351	138,960	6.6
Odessa-Midland	225,545	239,981	6.4
Beaumont-Port Arthur	361,218	382,242	5.8
Abilene	119,655	125,647	5.0
San Angelo	98,458	103,018	4.6

Source: U.S. Census Bureau

Wichita Falls MSA Projected Population

Year	Texas State Data Center (Scenario 0.5)	Texas Water Development Board
2005	144,207	-
2010	147,747	145,978
2015	151,120	-
2020	154,347	152,159

Sources: Texas State Data Center and Texas Water Development Board

Household Composition

	Wichita Falls MSA	Texas
Average household size (2000)	2.50	2.74
Population younger than 18 (2000, in percent)	25.3	28.2
Population 65 and older (2000, in percent)	12.8	9.9

Source: U.S. Census Bureau

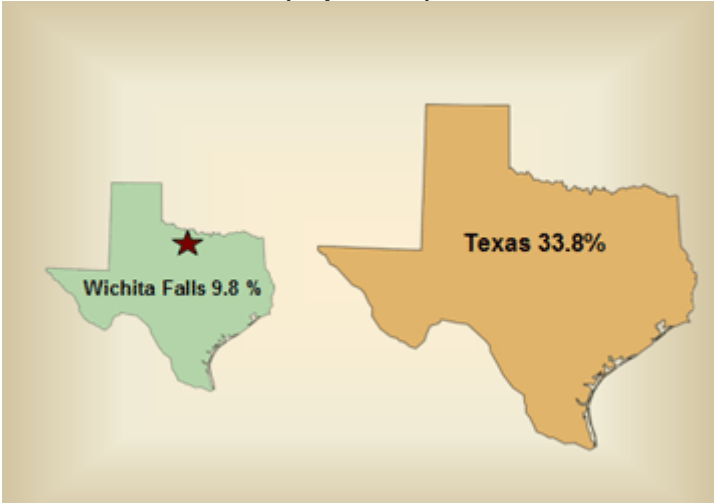
Distribution by Race and Hispanic or Latino Origin (in percent)

	Wichita Falls MSA		Texas	
	1990	2000	1990	2000
White	80.5	79.8	60.8	71.0
Black	8.9	9.6	11.7	11.5
Asian	1.4	1.7	0.3	2.7
American Indian	0.6	0.9	1.8	0.6
Other	0.1	5.3	0.1	11.7
Two or more races*	-	2.6	-	2.5
Hispanic (of any race)	8.5	11.8	25.3	32.0

* For the 2000 Census, the Census Bureau changed the "race" options, allowing people to report their race as "other" or as two or more races.

Source: U.S. Census Bureau

**Projected Population Growth, 2000-2020
(in percent)**



Source: Texas State Data Center (Scenario 0.5)

Wichita Falls Market Overview 2004

Education

Educational Level, Persons Age 25 and Older 2000 (in percent)

Level of Education	Wichita County	Texas
High school graduate	29.8	26.3
Some college, no degree	24.2	21.7
Associate's degree	5.9	5.2
Bachelor's degree	14.3	16.1
Graduate or professional degree	5.7	7.4

Source: U.S. Census Bureau, 2000 Census

Local College and University Enrollment

School	Fall 2002	Spring 2003	Fall 2003
Midwestern State University	6,157	6,034	6,480

Sources: Educational institutions

Wichita Falls Market Overview 2004 Employment

Top Ten Employers

Employer	Sector	Employees
Sheppard Air Force Base	Military	15,875
Wichita Falls Independent School District	Public school system	1,950
United Regional Healthcare System	Health care	1,877
City of Wichita Falls	City government	1,300
North Texas State Hospital WF Campus	Mental health - mental rehabilitation	975
James V Allred Unit	State maximum security prison	897
Vetrotex America Div of Saint-Gobain	Fiberglass reinforcements	860
Cryovac Division - Sealed Air Corporation	Flexible packaging	860
Cingular Wireless	Customer service	828
Howmet Corp WF Casting Division	Gas turbines, engine components	650

Source: Wichita Falls Board of Commerce and Industry Dec-2003

Top Ten Private Employers

Employer	Sector	Employees
United Regional Healthcare System	Health Care	1,877
Vetrotex America Div of Saint-Gobain	Fiberglass reinforcements	860
Cryovac Division - Sealed Air Corporation	Flexible packaging	860
Cingular Wireless	Customer Service	828
Howmet Corp WF Casting Division	Gas turbines, engine components	650
Work Services Corp.	Wood Products	510
Lear Seigler Service Inc.	Aircraft maintenance	500
Wal-Mart	Retail	450
PPG Industries	Flat glass products	426
BlueCross/Blue Shield	Customer service/claims processing	405

Source: Wichita Falls Board of Commerce and Industry Dec-2003

Employment Growth by Industry - 2003

	Wichita Falls MSA	Texas
Employment growth (percent)	-1.2	-0.5
Unemployment rate (percent)	4.9	6.8
New jobs	-700	-49,800
Employment growth by sector (percent)		
Natural Resources and Mining	0	0.6
Construction	4.8	-3.0
Manufacturing	-5.3	-5.0
Trade, Transportation and Utilities	-1.9	-1.8
Information	0	-5.8
Financial Activities	0	0.9
Professional and Business Services	-8.8	-1.1
Educational and Health Services	2.2	3.3
Leisure and Hospitality	-1.8	1.2
Government	0	1.3
Total Nonfarm	-1.2	-0.5

Source: Texas Workforce Commission and U.S. Bureau of Labor Statistics

Texas Metropolitan Area Employment Change, 1990-2003

Metropolitan Area	1990 Employment	2003 Employment	Percent Change
Austin-San Marcos	454,618	746,750	64.3
Laredo	48,766	77,065	58.0
McAllen-Edinburg-Mission	128,560	197,870	53.9
Brownsville-Harlingen-San Benito	90,866	131,457	44.7
Bryan-College Station	58,292	82,368	41.3
San Antonio	587,550	796,235	35.5
Killeen-Temple	87,724	117,801	34.3
Tyler	70,970	93,561	31.8
Dallas	1,467,668	1,916,607	30.6
Texas	8,071,312	10,284,203	27.4
Fort Worth-Arlington	721,875	915,919	26.9
Houston	1,720,152	2,180,719	26.8
Victoria	34,648	43,652	26.0
Amarillo	92,967	113,051	21.6
El Paso	229,358	274,926	19.9
Lubbock	107,823	128,854	19.5
Waco	86,347	102,310	18.5
Longview-Marshall	86,048	100,952	17.3
Odessa-Midland	104,401	120,374	15.3
Corpus Christi	150,142	172,705	15.0
San Angelo	43,587	49,798	14.2
Brazoria County	93,552	105,320	12.6
Abilene	52,389	58,513	11.7
Sherman-Denison	43,804	48,866	11.6
Wichita Falls	56,897	62,812	10.4
Galveston-Texas City	105,423	114,327	8.4
Texarkana	51,575	55,658	7.9
Beaumont-Port Arthur	157,435	167,915	6.7

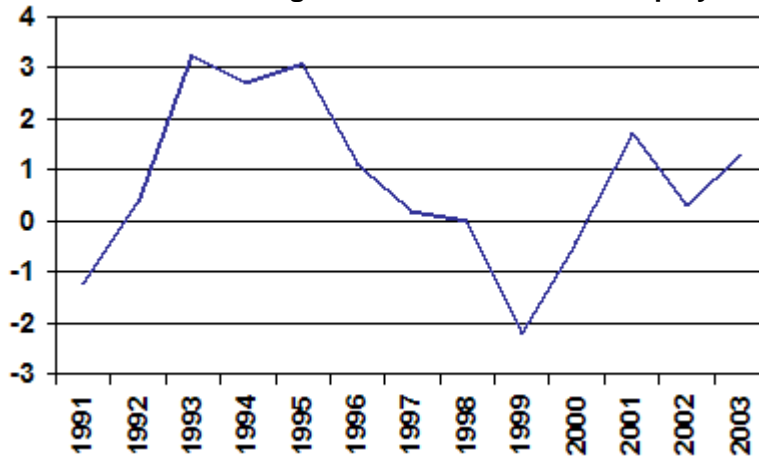
Source: U.S. Bureau of Labor Statistics and The Real Estate Center

Wichita Falls MSA Employment

Year	Employment	Percent Change
1990	56,897	-
1991	56,219	-1.2
1992	56,436	0.4
1993	58,233	3.2
1994	59,820	2.7
1995	61,661	3.1
1996	62,336	1.1
1997	62,436	0.2
1998	62,459	0.0
1999	61,054	-2.2
2000	60,801	-0.4
2001	61,846	1.7
2002	62,018	0.3
2003	62,812	1.3

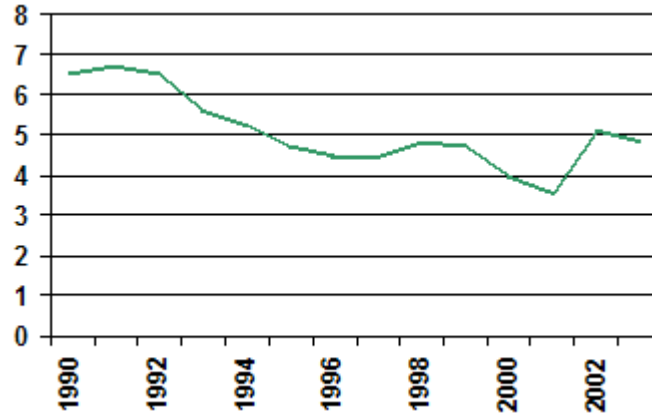
Source: U.S. Bureau of Labor Statistics

Annual Percent Change in Wichita Falls MSA Employment



Source: U.S. Bureau of Labor Statistics

**Wichita Falls MSA Unemployment Rate
(in percent)**



Source: U.S. Bureau of Labor Statistics

Wichita Falls Market Overview 2004

Economy

Wichita Falls MSA Gross Retail Sales

Year	Total Sales	Sales per Capita
1990	903,534,654	\$6,932
1991	919,884,338	7,116
1992	988,689,184	7,658
1993	1,067,721,036	8,118
1994	1,170,767,526	8,742
1995	1,238,766,468	9,008
1996	1,269,958,442	9,028
1997	2,294,519,845	16,286
1998	2,640,433,698	18,788
1999	1,391,574,797	9,890
2000	1,368,668,551	9,740
2001	1,446,426,736	10,377
2002	1,469,627,347	10,576
State Average 2002: \$12,143		

Source: Texas Comptroller's Office Mar 2004

Wichita Falls Market Overview 2004 Infrastructure

Wichita Falls Airline Boardings

Airport	1998	1999	2000	FY 01-02*	FY 02-03*
City of Wichita Falls Municipal	53,071	55,754	58,000	41,343	40,654

* Fiscal Year

Source: City of Wichita Falls Municipal Airport

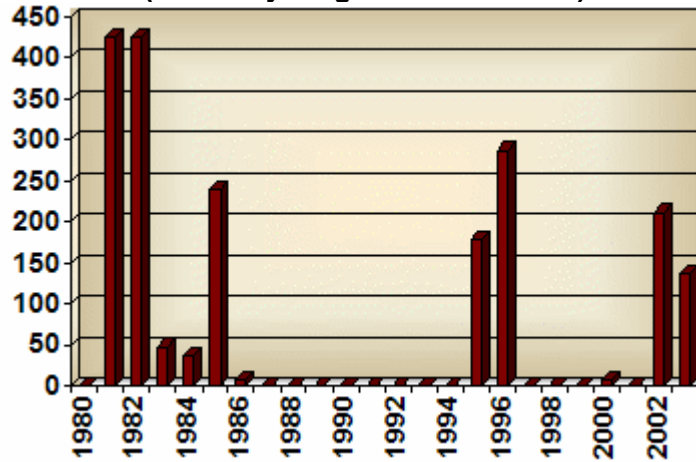
Wichita Falls Market Overview 2004 Multifamily

Wichita Falls Apartment Statistics 2003

	Wichita Falls	Texas Metro Average
Average rent per square foot	\$0.61	\$0.79
Average rent for units built since 2000	\$0.48	\$0.91
Average occupancy (percent)	94.4	92.1
Average occupancy for units built since 2000 (percent)	99.7	90.8

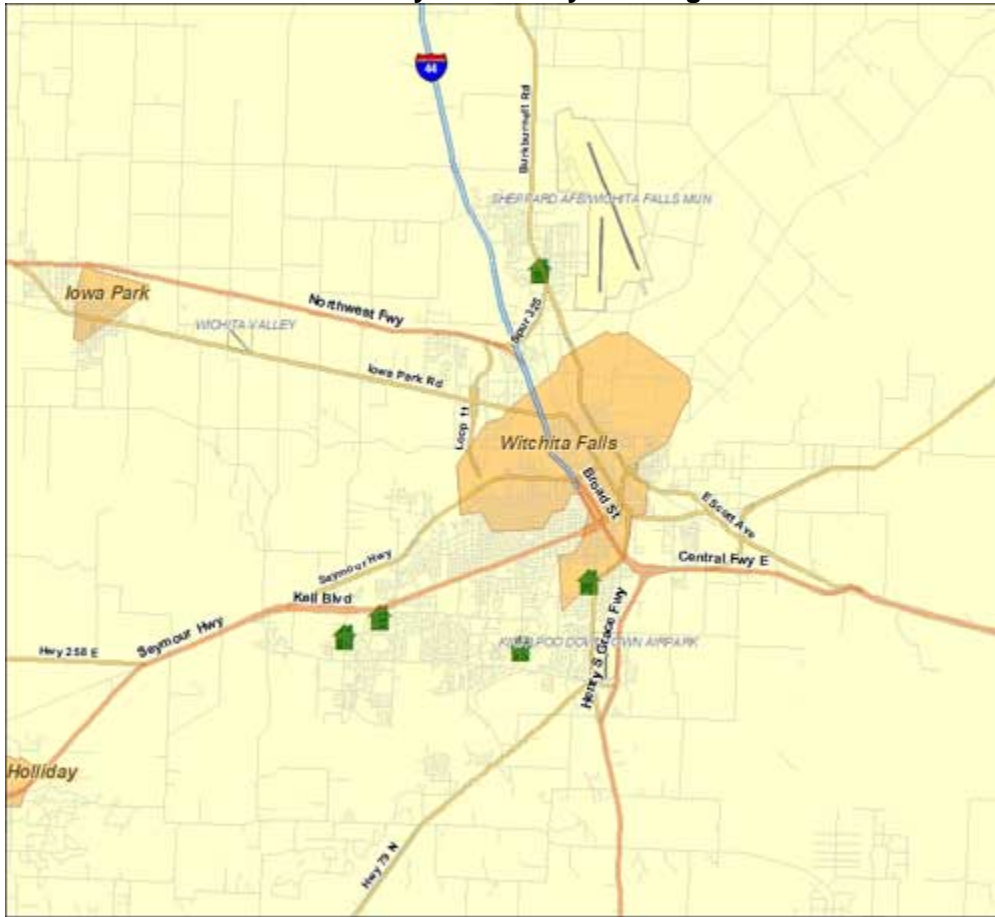
Source: Apartment MarketData Research

**Wichita Falls MSA Multifamily Building Permits
 (5+ Family Bldg. Permits in units)**



Source: U.S. Census Bureau

Wichita Falls City Multifamily Building Permits



Wichita Falls City Building Permit Office

Wichita Falls Market Overview 2004 Housing

Housing Affordability - Fourth Quarter 2003

	Percent of Households That Can Afford Median-priced Home	THAI*	THAI for First-time Homebuyers
Wichita Falls MSA	68	1.37	1.24
Texas MLS Total	54	1.06	0.92
U.S. Total	55	1.06	0.77

* The THAI is the ratio of median household income to the income required to buy the median priced home using currently available mortgage financing. Standard financing is a 30-year loan covering 80 percent of the cost of the home. A THAI of 1.00 indicates that the median household income is just enough to qualify for a loan sufficient to purchase the median-priced home.

Source: Real Estate Center at Texas A&M University

Price Distribution of MLS Homes Sold, Wichita Falls Area, 2003 (in percent)

Price Range	1998	1999	2000	2001	2002	2003
\$29,999 or less	10.1	10.0	9.7	7.7	8.9	8.6
30,000 - 39,999	8.3	9.1	8.4	8.0	5.8	5.7
40,000 - 49,999	9.9	9.6	10.2	9.1	8.5	7.7
50,000 - 59,999	9.9	12.2	11.6	9.4	9.8	7.8
60,000 - 69,999	11.4	9.6	9.7	11.6	10.2	9.9
70,000 - 79,999	10.5	9.8	9.0	9.9	9.2	9.5
80,000 - 89,999	8.8	9.6	8.4	10.0	8.3	8.5
90,000 - 99,999	7.2	6.7	6.9	6.5	8.6	8.1
100,000 - 119,999	8.2	8.6	8.5	10.4	11.5	10.3
120,000 - 139,999	4.9	5.8	5.1	6.5	6.8	8.5
140,000 - 159,999	4.3	2.7	4.6	3.4	3.1	4.7
160,000 - 179,999	2.2	1.4	2.5	2.0	3.3	2.8
180,000 - 199,999	1.4	1.3	1.4	1.3	2.5	2.5
200,000 - 249,999	1.3	2.2	1.8	1.7	2.4	3.0
250,000 - 299,999	0.8	0.6	1.1	1.1	0.7	1.0
300,000 - 399,999	0.6	0.7	0.9	0.8	0.5	1.0
400,000 - 499,999	0.1	0.2	0.0	0.3	0.1	0.2
500,000 and more	0.0	0.1	0.1	0.2	0.0	0.1

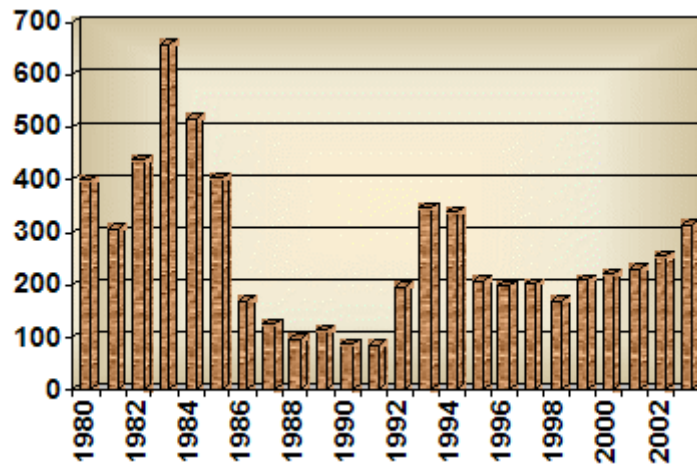
Source: Real Estate Center at Texas A&M University

Property Tax Rates, 2003

Taxing Entity	Tax Rate per \$100 Valuation
City of Wichita Falls	\$0.59
Wichita County	0.45
Wichita Falls ISD	1.56
Total	\$2.60

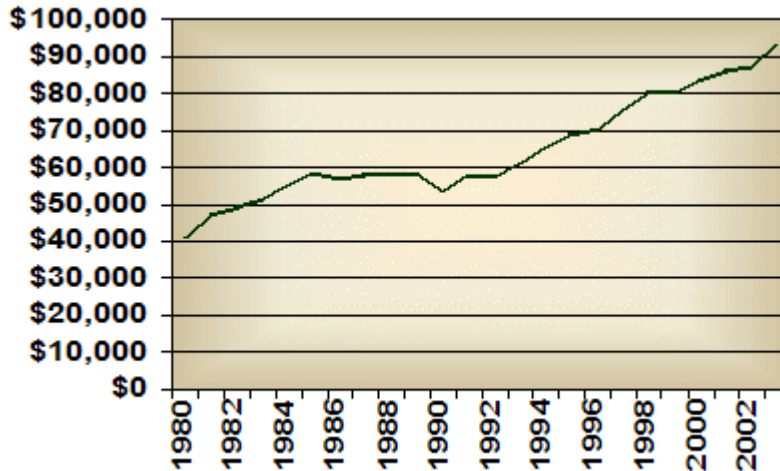
Source: Wichita County Appraisal District

Wichita Falls MSA Single-family Building Permits (in units)



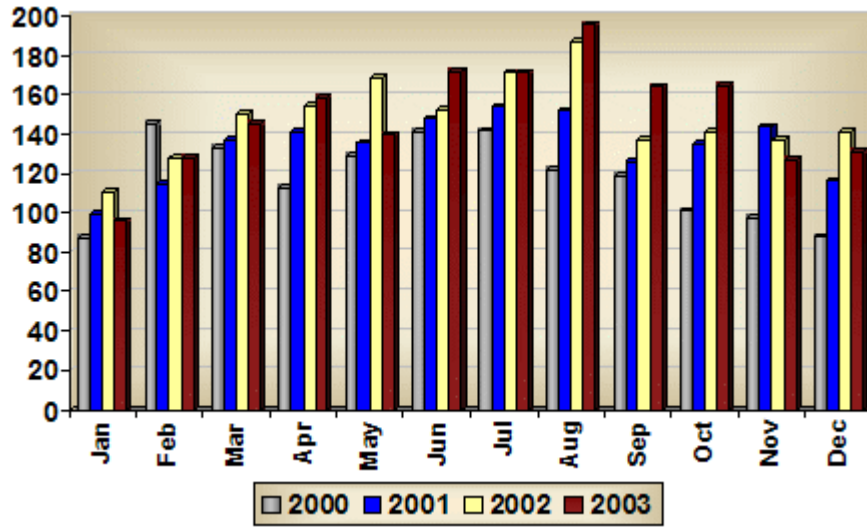
Source: U.S. Census Bureau

Average Sales Price of Single-family Home, Wichita Falls Area



Source: Real Estate Center at Texas A&M University

**Single-family Home Sales Volume, Wichita Falls Area
(Number of Units)**



Source: Real Estate Center at Texas A&M University

Wichita Falls Market Overview 2004

Retail

Wichita Falls City Retail Building Permits



Wichita Falls City Building Permit Office

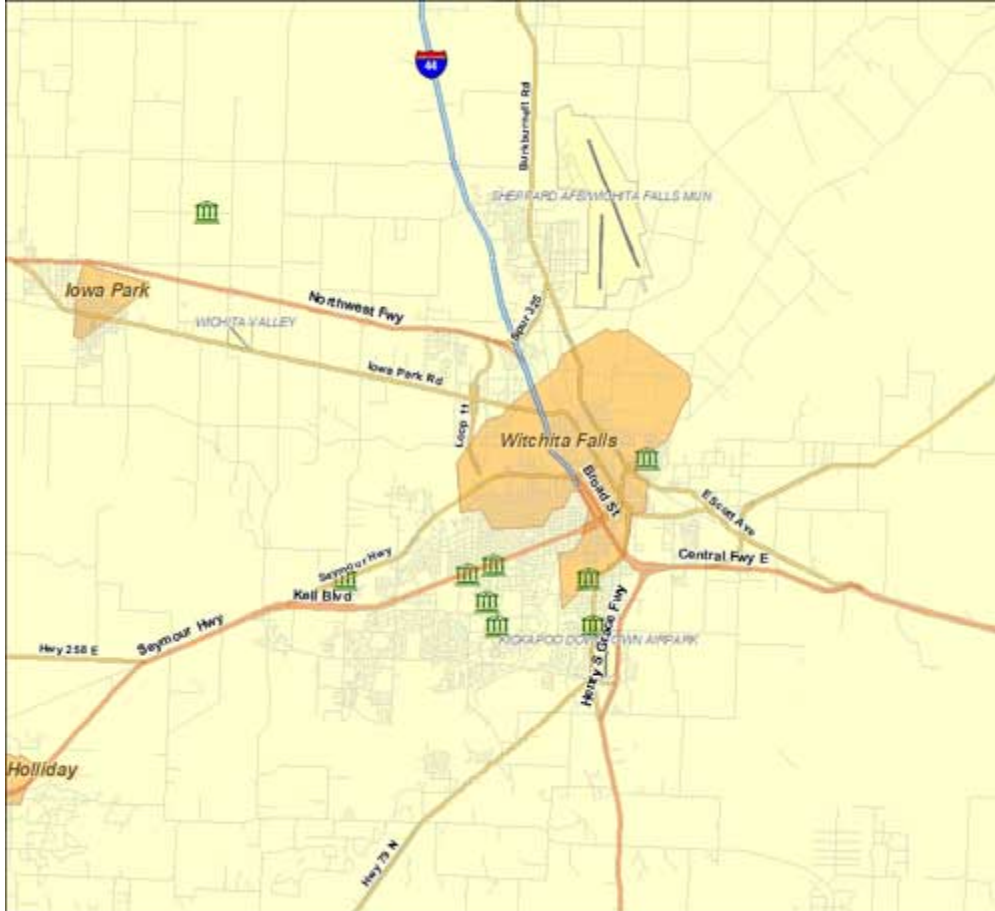
Wichita Falls Market Overview 2004 Hotel

Hotel* Occupancy and Rental Rates		
	Wichita Falls	Texas
2000		
Rooms (000)	1.8	296.8
Average daily rental rate	\$49.17	\$71.56
Occupancy rate (percent)	49.7	59.3
2001		
Rooms (000)	1.8	307.1
Average daily rental rate	\$49.63	\$70.27
Occupancy rate (percent)	54.2	57.3
2002		
Rooms (000)	1.8	314.3
Average daily rental rate	\$52.77	\$70.11
Occupancy rate (percent)	59.4	55.4
2003		
Rooms (000)	1.8	320.8
Average daily rental rate	\$53.24	\$68.78
Occupancy rate (percent)	58.2	54.3

Source: Office of the Governor Economic Development and Tourism and Source Strategies, Inc. of San Antonio
 *Only properties exceeding \$16,600 in the current quarter are included; those units below \$16,600 only result in 1.5% of the total state revenues, and have been excluded from this database.

Wichita Falls Market Overview 2004 Office

Wichita Falls City Office Building Permits



Wichita Falls City Building Permit Office

Wichita Falls Market Overview 2004 Industrial

Wichita Falls City Industrial Building Permits



Wichita Falls City Building Permit Office



This annual report is created free of charge by the Real Estate Center at Texas A&M University. We strive to provide the most accurate, up-to-date, and insightful data to paint a detailed picture of Texas' Metropolitan Statistical Area's. The Center also provides numerous publications, resources, and data on building permits, employment, population, and home sales at <http://recenter.tamu.edu>.

Report compiled by:

Administrative Coordinator

Edith Craig

Research Analysts

Isilay Civan

Blake Lacy

Real Estate Center, 2115 TAMU, College Station, TX 77843-2115
Phone: 979.845.2031 | Fax: 979.845.0460